

# SIGN PROGRAM

FOR

HEMET VILLAGE RETAIL CENTER  
HEMET, CA  
CUP #04-12

**APPROVED**

PLANNING DEPARTMENT

JAN 11 2006

FOR: Sign program for  
CUP 04-12  
Hemet Village

AS AMENDED 10/30/14

*[Handwritten signature]*



HEMET RETAIL CENTER  
HEMET, CALIFORNIA

Carter-Burgess

## LANDLORD

W HEMET, LLC  
26901 AGOURA ROAD, SUITE 250  
CALABASAS HILLS, CA 91301

September 21, 2005 1<sup>st</sup> Submittal to City  
December 7, 2005 2<sup>nd</sup> Submittal to City  
December 22, 2005 3<sup>rd</sup> Submittal to City  
January 9, 2006 4<sup>th</sup> Submittal to City

**SIGN PROGRAM**  
**FOR**  
**HEMET VILLAGE RETAIL CENTER**  
**HEMET, CA**  
**CUP #04-12**

**A. PURPOSE AND INTENT**

The following criteria have been established for the purpose of assuring a consistent sign design program for the mutual benefit of all occupants. Flexibility of design is encouraged to create visual interest. Adherence to these criteria will be enforced by the Landlord and The City of Hemet. Any non-conforming sign or any sign installed without approval shall be removed immediately and replaced at Tenant's cost.

**B. GENERAL CRITERIA AND SIGN DESIGN**

1. Tenants of Shop Buildings and Pads are required to have a single color, including trim cap but excluding return, and an internally illuminated sign on their fascia, unless otherwise specified in these criteria or approved by Landlord and City of Hemet (City). Location of all signs shall be as directed by Landlord and as approved by The City of Hemet.
2. Signs shall be designed in a manner that is not only imaginative but also of high graphic quality. In addition, signs should be compatible with and complementary to adjacent facades.
3. Notwithstanding, the maximum square footages specified for copy area allowances, signs, graphics, and letters in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. Signs shall be centered horizontally and vertically over each Tenant space unless otherwise directed by Landlord and approved by The City of Hemet.
4. Each Tenant shall pay all costs for all Tenant signs including manufacture, installation, maintenance, and City permits and a fee of \$250.00 for Landlord's approval of signs payable to W HEMET, LLC at time of submission. Tenant's City permit issuance is subject to the requirements of the Hemet Municipal Code4.

5. Each Tenant shall be responsible for and repair of any damage to any surface caused by the sign or its installation.
6. Landlord reserves the right to periodically hire an independent electrical or sign consultant, at Tenant's sole expense, to inspect the installation of all Tenants' signs. Tenant will be required to correct discrepancies and/or code violations at Tenant's expense. Any code violations, requests for sign removals, or discrepancies not addressed within fifteen (15) days of notice, may be corrected by the Landlord at Tenant's expense.
7. Tenant's sign contractor shall carry worker's compensation and public liability insurance against all damage by any and all persons and/or property while engaged in the construction or erection of signs in the amount of \$1,000,000 per occurrence. An insurance endorsement must be provided to Landlord prior to installation naming W HEMET, LLC, Westrust Ventures, LLC and MPA, Inc. as additional insured.
8. Tenant shall remove sign and restore fascia to original condition which Landlord shall approve at Tenant's sole cost and expense within fifteen (15) days of expiration of term or earlier termination of Tenant's lease.
9. Landlord will install and pay for the following address signs according to Fire Department requirements:
  - A. Building Address Sign: Size and location shall be determined by Landlord.
  - B. Front Suite Address Sign: Suite address numbers or letters are to be three (3) inches high, in a uniform color (matte finish only) and font with the letters installed over entry door.
  - C. Rear Suite Address Sign (as needed): Three (3) inches high store address numbers in a uniform color (matte finish only) and font are to be installed on the rear doors.

**C. PROHIBITED SIGNS**

The following signs are prohibited:

1. Outdoor advertising or advertising structures.
2. Exposed junction boxes, transformers, lamps, tubing, conduits, exposed raceways or neon crossovers of any type.

3. Window signs except where specifically approved in writing by Landlord and The City of Hemet. No painted window signs, interior hanging or neon signs. Window decorations are prohibited.
4. Temporary wall signs are not permitted. Banners must be pre-approved in writing by Landlord.
5. Pre-manufactured signs, such as franchise signs, that have not been modified to fit these criteria.
6. Paper, cardboard, stickers or decals placed around, on or behind storefronts.
7. Exposed fastenings, unless fastenings make an intentional statement.
8. Freestanding signs, except as provided in this sign program.
9. Signs consisting solely of a rectangular cabinet with an acrylic face.
10. Signs which move, swing, rotate, flash, except as provided in this sign program.
11. No person shall install or maintain or cause to be installed or maintained any sign which simulates or imitates in size, color, lettering, or design any traffic sign or signal, or any other symbol or characters in such a manner to interfere with, mislead or confuse traffic.
12. Signs, banners, flags or similar advertising devices that are exhibited, posted or displayed by any person, including anything of an obscene, indecent, or immoral or unlawful activity are strictly prohibited. Landlord reserves the right in its sole discretion to immediately remove items that it believes violate this clause.
13. No sign shall be installed, relocated or maintained so as to prevent free ingress or egress from any door. No sign of any kind shall be attached to a standpipe, post or any other item in the common area, except those signs as required by code or ordinance.
14. Signs or parking lot fliers on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, or identify a store or its merchandise is prohibited.
15. Any sign located on the roof or projecting above the roofline of a building.

D. **SIGN CONSTRUCTION**

1. All signs and installation shall comply with all applicable City building and electrical codes, and shall bear a UL label.
2. Tenant's sign contractor shall completely install and connect sign and primary wiring at sign location consistent with Landlord's approval. Signs are to be connected to the J-box provided by the Landlord, which is connected to Tenant's electrical panel.
3. All penetrations of exterior fascia to be sealed watertight, and finished to match adjacent material, subject to Landlord's approval.
4. All signs shall be kept in good condition, be legible, adequately repaired and maintained by the Tenant at all times. The standards for maintenance and repair of signs shall maintain the highest visual quality.
5. All exterior signs shall be secured by concealed fasteners, stainless steel, nickel or cadmium plated.
6. Plastic surfaces to be 3/16" (3/16 inch) as manufactured for outdoor advertising.
7. All exterior signs shall be mounted 1/4" (1/4 inch) from the surface of the building for proper drainage.
8. Internal illumination to be 60-milli-amp neon or LED installation labeled in accordance with the "National Board of Fire Underwriters Specifications". No other labels or identification will be permitted on the exposed surfaces of the sign except those required by local ordinances.
9. All exposed letter sheet metal returns shall be 5" (five inch) deep of 24 gauge, painted with one coat of primer and two coats Matthews paint dark bronze #281313 as approved by Landlord. All trim cap shall be 3/4" (3/4 inch) in thickness to match the face, or as approved by Landlord.

E. **SIGN TYPES:**

- E.1. **Major Tenant:** Each Major Tenant shall install One (1) set of internally illuminated, either by neon or LED, individual channel letters with translucent on the fascia space as directed by Landlord. One (1) sign to be positioned facing the primary parking lot (See figure 2). Returns to be 5" (5 inch) deep of 24 gauge painted with one coat of primer and two coats of Matthews paint Dark Bronze #281313 and 3/4" (3/4 inch) trim cap to match color of face or as approved by Landlord. Signs shall be one

uniform color throughout and one font/letter style unless approved by Landlord. In cases where Tenant is part of a national or regional chain (50 or more stores) whose graphics are a part of a registered trademark, in which case, said Tenant would be allowed a letter color in accordance with their corporate specifications. Also, in registered trademark cases, said Tenant will be allowed the letter style(s) in accordance with its corporate specifications. Landlord, at Landlord's and City's discretion, will review signs with the intent of varying the sign colors of adjacent Tenant. No can or cabinet signs will be allowed except as a minor component of a national or regional trademark sign.

Letter height shall be according to the following schedule:

- 50 to 99 linear feet of building frontage - 36" (36 inch) letter height maximum for a single or multi-line sign.
- 100 linear feet and above of building frontage - 48" (48 inch) letter height maximum. For a multi-line sign, a 48" (48 inch) letter height can be used.
- Maximum sign area of two sq. ft. of display area for each one linear foot of building frontage, or 200 sq. ft., whichever is less.

**Secondary Sign:** Each major Tenant shall be permitted a secondary sign for additional businesses co-located within their business premises. The square footage for secondary sign cannot exceed one sq. ft. per linear foot of building frontage with a maximum letter height of 50% of the primary sign.

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:  
-6" minimum from the sides of the signage  
-18" minimum from the top and bottom of the signage

E.2.

**In-Line Shop Tenant:** Each In-line shop Tenant shall install One (1) set of internally illuminated, either by neon or LED, individual channel letters with translucent on the fascia space as directed by Landlord. One (1) sign to be positioned facing the primary parking lot (See figure 3). End cap Tenants will be permitted a second sign (See figure 4). Returns to be 5" (5 inch) deep of 24 gauge painted with one coat of primer and two coats of Matthews paint Dark Bronze #218313 and 3/4" (3/4 inch) trim cap to match color of face or as approved by Landlord. Signs shall be one uniform color throughout and one font/letter style unless approved by Landlord. In cases where Tenant is part of a national or regional chain (50 or more stores) whose graphics are a part of a registered trademark, in which

case, said Tenant would be allowed a letter color in accordance with their corporate specifications. Also in registered trademark cases, said Tenant will be allowed the letter style(s) in accordance with its corporate specifications. Landlord, at Landlord's and City's discretion, will review signs with the intent of varying the sign colors of adjacent Tenant. No can or cabinet signs will be allowed except as a minor component of a national or regional trademark sign. Letter height shall be according to the following schedule:

- The maximum allowable letter height is not to exceed eighteen inches (18") for a single or multi-line sign unless 50 to 99 linear feet of building frontage – 36" (36 inch) letter height maximum for a single or multi-line sign.
- FRONT OF SUITE: The maximum allowable sign area is not to exceed two square feet (2sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 3, for reference only. See Construction Documents for Tenant specific locations.
- REAR OF SUITE: No Rear of Suite signs are permitted.
- END CAP SIGNAGE: The maximum allowable sign area is not to exceed one square foot (1sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 4, for reference only. See Construction Documents for Tenant specific locations.

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

-6" minimum from the sides of the signage

-18" minimum from the top and bottom of the signage

**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage.

E.3. **Multi-Tenant Pads:** Each Multi-Tenant pad shall install One (1) set of internally illuminated, either by neon or LED, individual channel letters within translucent on the fascia space as directed by Landlord to be positioned facing the primary parking lot (see figure 3) and one (1) sign on the rear of suite (see figure 5). End cap Tenants will be permitted the option of installing the second sign at the end of the building (see figure 4), in lieu of the rear suite sign. Returns to be 5" (5 inch) deep of 24 gauge painted with one coat of primer and two coats of Matthews paint Dark Bronze #281313 and ¾ (3/4 inch) trim cap to match color of face or as approved by

case, said Tenant would be allowed a letter color in accordance with their corporate specifications. Also, in registered trademark cases, said Tenant will be allowed the letter style(s) in accordance with its corporate specifications. Landlord, at Landlord's and City's discretion, will review signs with the intent of varying the sign colors of adjacent Tenant. No can or cabinet signs will be allowed except as a minor component of a national or regional trademark sign. Letter height shall be according to the following schedule:

- The maximum allowable letter height is not to exceed eighteen inches (18") for a single or multi-line sign. *UNLESS 50 TO 99 LINEAR FEET OF BUILDING FRONTAGE - 36" (36 inch) LETTER HEIGHT MAXIMUM FOR A SINGLE OR MULTI-LINE SIGN.*
- FRONT OF SUITE: The maximum allowable sign area is not to exceed two square feet (2sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 3, for reference only. See Construction Documents for Tenant specific locations.
- REAR OF SUITE: No Rear of Suite signs are permitted.
- END CAP SIGNAGE: The maximum allowable sign area is not to exceed one square foot (1sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 4, for reference only. See Construction Documents for Tenant specific locations.

*JE*  
*10/30/14*  
*MINOR MODIFICATION APPROVED*

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

- 6" minimum from the sides of the signage
- 18" minimum from the top and bottom of the signage

**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage

**E.3. Multi-Tenant Pads:** Each Multi-Tenant pad shall install One (1) set of internally illuminated, either by neon or LED, individual channel letters with translucent on the fascia space as directed by Landlord to be positioned facing the primary parking lot (see figure 3) and one (1) sign on the rear of suite (see figure 5). End cap Tenants will be permitted the option of installing the second sign at the end of the building (see figure 4), in lieu of the rear suite sign. Returns to be 5" (5 inch) deep of 24 gauge painted with one coat of primer and two coats of Matthews paint Dark Bronze #281313 and 3/4" (3/4 inch) trim cap to match color of face or as approved by

Landlord. Signs shall be one uniform color throughout and one font/letter style unless approved by Landlord. In cases where Tenant is part of a national or regional chain (50 or more stores) whose graphics are a part of a registered trademark, in which case, said Tenant would be allowed a letter color in accordance with their corporate specifications. Also, in registered trademark cases, said Tenant will be allowed the letter style(s) in accordance with its corporate specifications. Landlord, at Landlord's and City's discretion, will review signs with the intent of varying the sign colors of adjacent Tenant. No can or cabinet signs will be allowed except as a minor component of a national or regional trademark sign. Letter height shall be according to the following schedule:

- The maximum allowable letter height is not to exceed eighteen inches (18") for a single or multi-line sign.
- **FRONT OF SUITE:** The maximum allowable sign area is not to exceed two square feet (2sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 3, for reference only. See Construction Documents for Tenant specific locations.
- **REAR OF SUITE:** The maximum allowable sign area is not to exceed one square foot (1sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 3, for reference only. See Construction Documents for Tenant specific locations.
- **END CAP SIGNAGE:** The End Cap Tenants will be permitted the option of installing the second sign at the end of the building (see figure 4), in lieu of the rear of suite sign. The maximum allowable sign area is not to exceed one square foot (1sf) per lineal foot of Tenant frontage. The allowable sign area shall be centrally located within the "Sign Area Location Zone" as shown on figure 4, for reference only. See Construction Documents for Tenant specific locations.

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

- 6" minimum from the sides of the signage
- 18" minimum from the top and bottom of the signage

**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage

E.4. Service Door Signage

Tenant shall install service door signage to match figure 6. The purpose of this signage is to identify service door for delivery and emergency purposes only.

E.5. Monument Signs

A. One Pylon double faced sign per figure 1 and figure 7.

F. **APPROVALS**

To obtain Landlords approval, submit four color (4) copies (electronic versions will not be accepted) as outlined in Section B of these criteria, to the Landlord with \$250.00 and insurance endorsement naming W Hemet LLC, Westrust Ventures LLC, and MPA, Inc., as additional insureds, to the following address:

W HEMET, LLC  
26901 Agoura Road, Suite 250  
Calabasas Hills, CA 91301  
Attr: Development Department

1. Prior to manufacture of any sign in the shopping center, the Tenant shall submit to Landlord for approval, four (4) copies of detailed drawings for each proposed sign. These drawings shall include the building elevation to which the signs are to be attached, sign dimensions, graphics, location, colors, and method of attachment. This approval must be obtained prior to submittal to The City of Hemet.
2. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall be at Landlord's sole discretion.
3. Prior to the installation and manufacture of any sign, the Tenant shall obtain a sign permit from The City of Hemet.

Upon approval, a letter shall be provided to Tenant by Landlord. This letter must be presented to The City of Hemet to obtain the Tenant's sign permit.

Prior to manufacture of any sign, the Tenant shall obtain a sign permit from City of Hemet.

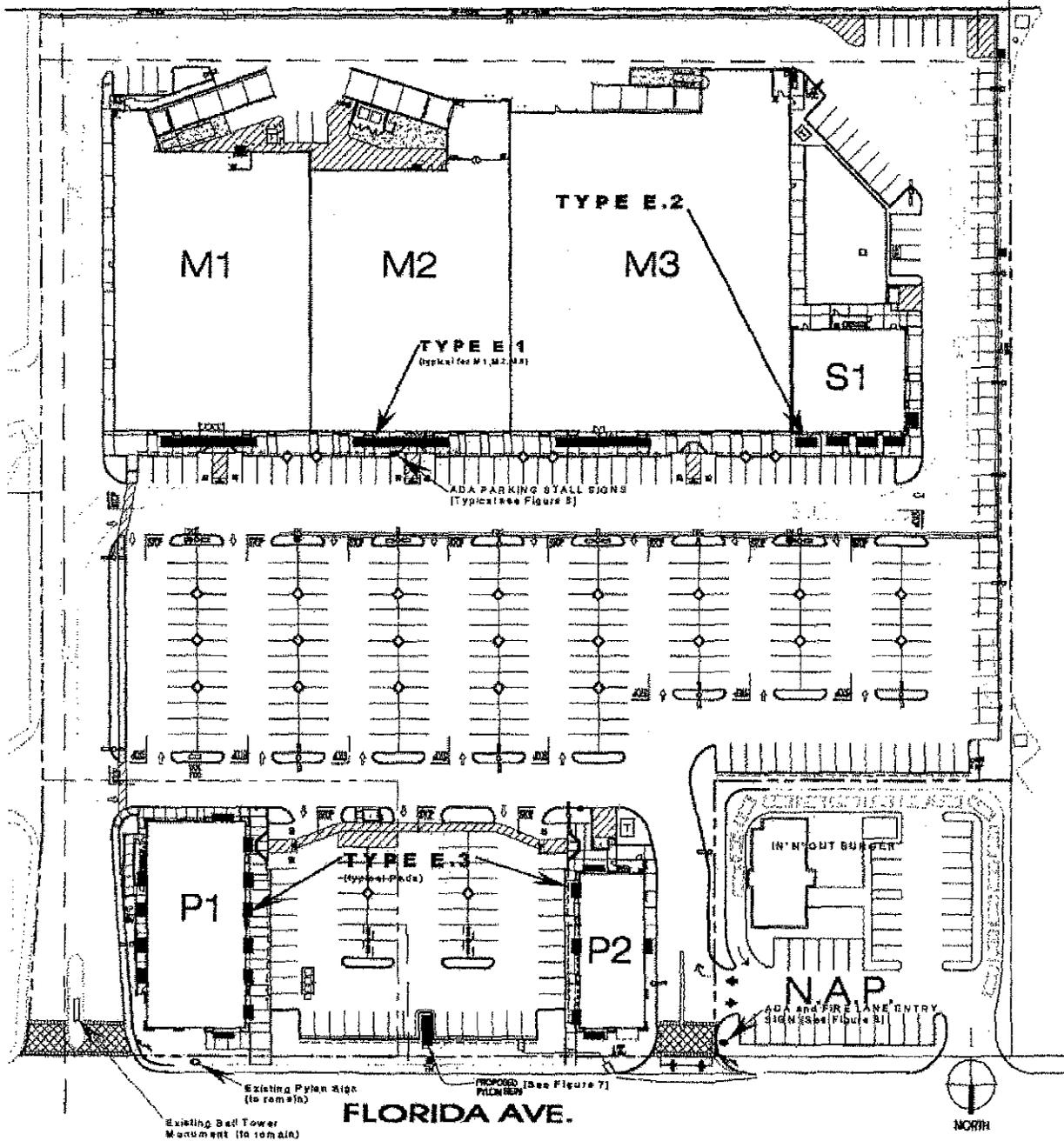
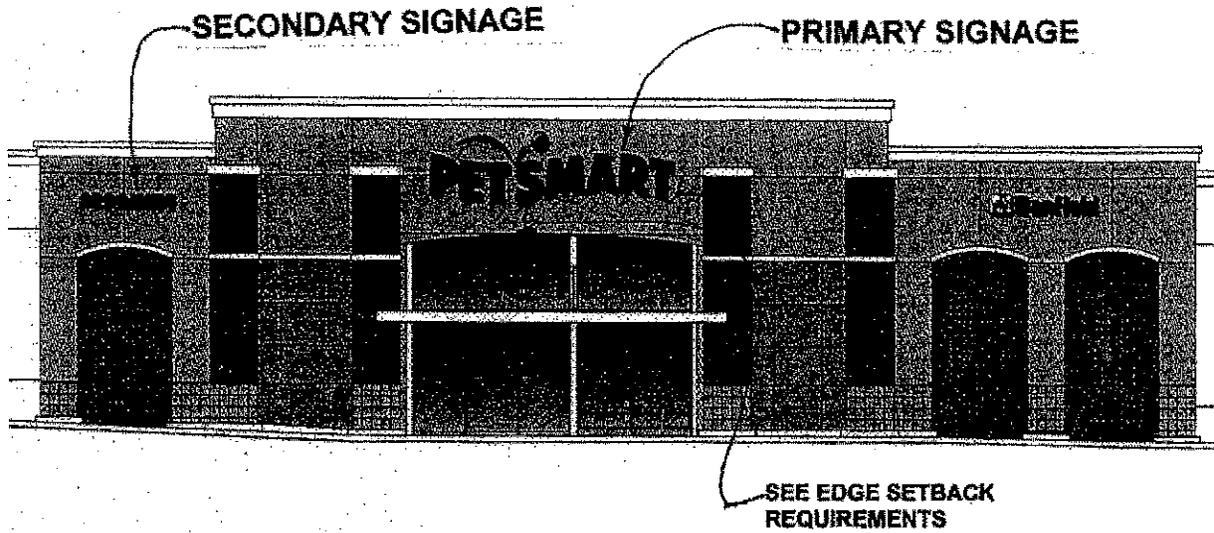


Figure 1

**SIGNAGE SHALL NOT EXCEED  
TWO SQUARE FEET OF DISPLAY  
AREA FOR EACH ONE LINEAR  
FOOT OF BUILDING FRONTAGE,  
OR 200 S.F., WHICHEVER IS LESS.**



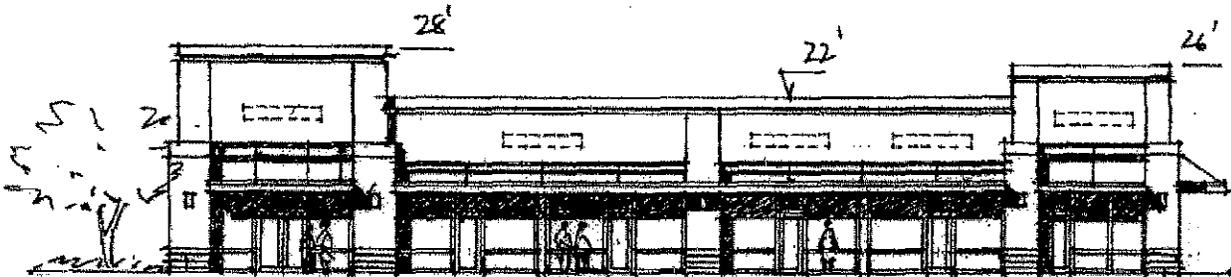
**Type E 1 (MAJOR TENANT)  
Business Identification Signs  
Primary and Secondary Signage**

**Figure 2**

 = Sign Area Location Zone

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:  
6" minimum from the sides of the signage  
18" minimum from the top and bottom of the signage

**SIGNAGE SHALL NOT EXCEED  
TWO SQUARE FEET OF DISPLAY  
AREA FOR EACH ONE LINEAR  
FOOT OF BUILDING FRONTAGE,  
OR 200 S.F., WHICHEVER IS LESS.**



**Type E 2 and E 3 (IN-LINE SHOP TENANT, MULTI-TENANT PAD)  
Business Identification Signage  
Fascia Sign facing Primary Parking Lots**

**Figure 3**

 = Sign Area Location Zone

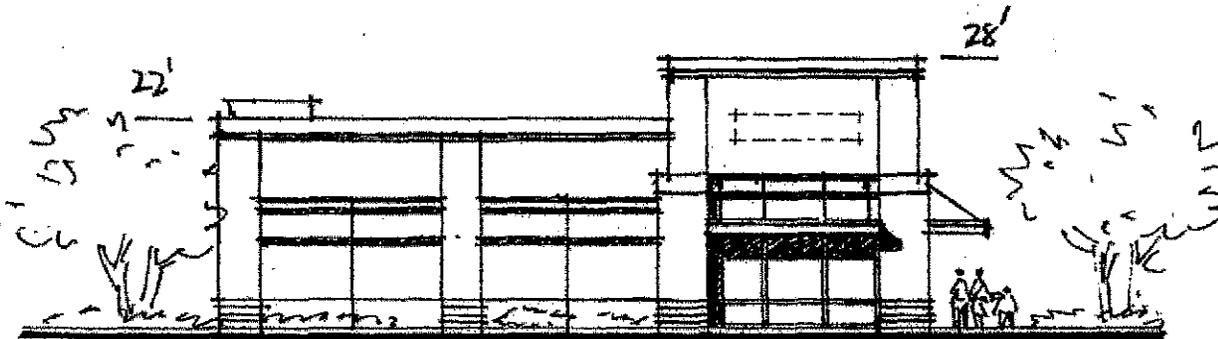
**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

6" minimum from the sides of the signage

18" minimum from the top and bottom of the signage

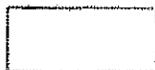
**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage

**SIGNAGE SHALL NOT EXCEED  
ONE SQUARE FOOT OF DISPLAY  
AREA FOR EACH ONE LINEAR  
FOOT OF BUILDING FRONTAGE,  
OR 100 S.F., WHICHEVER IS LESS.**



**Type E 2 and E 3 (IN-LINE SHOP TENANT, MULTI-TENANT PAD)  
Business Identification Signage  
End Cap Pad Tenant**

**Figure 4**



= Sign Area Location Zone

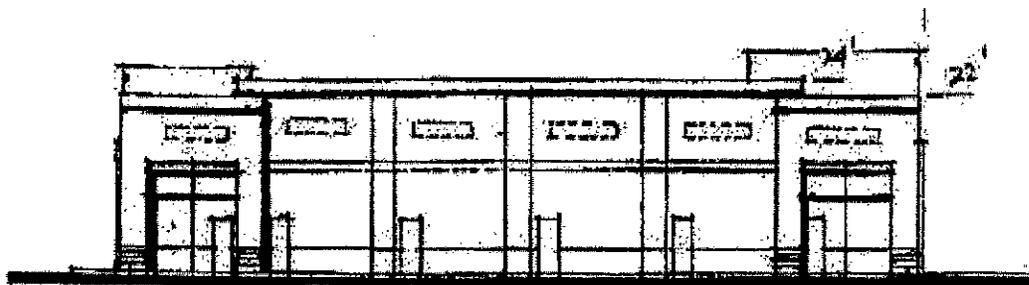
**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

6" minimum from the sides of the signage

18" minimum from the top and bottom of the signage

**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage

**SIGNAGE SHALL NOT EXCEED  
ONE SQUARE FOOT OF DISPLAY  
AREA FOR EACH ONE LINEAR  
FOOT OF BUILDING FRONTAGE,  
OR 100 S.F., WHICHEVER IS LESS.**



**Type E 3 (MULTI-TENANT PAD)  
Business Identification Signage  
Tenant's Rear of Suite Sign**

**Figure 5**



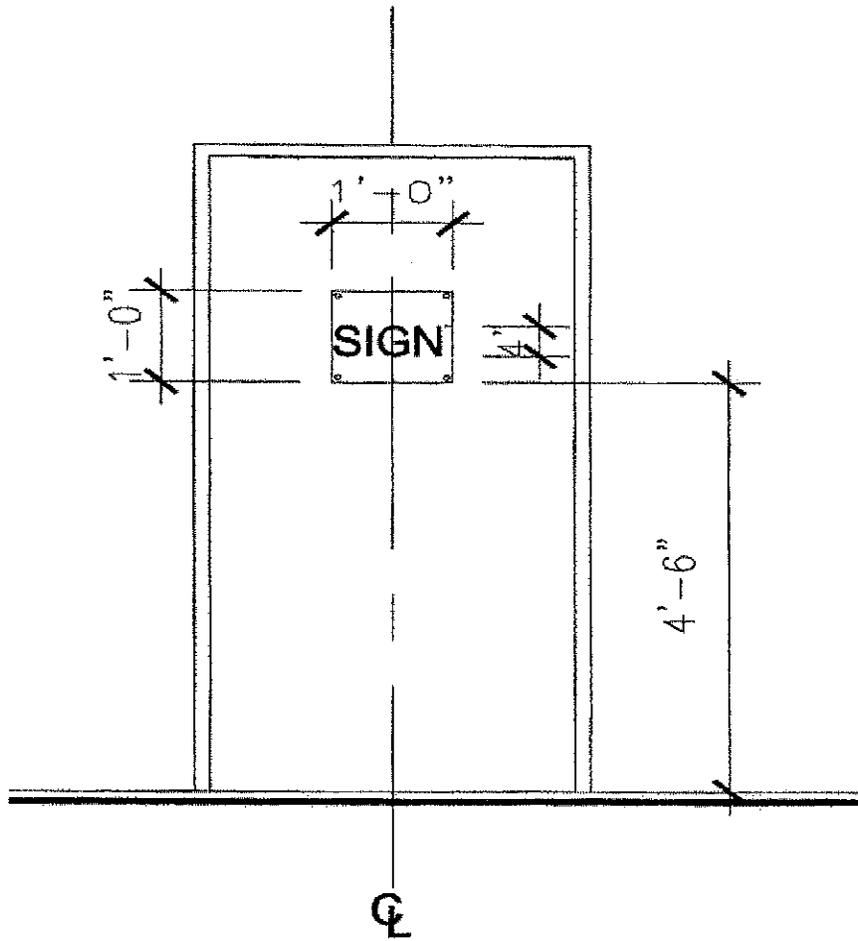
= Sign Area Location Zone

**SETBACK NOTE:** The edges of the proposed signage shall be setback from building façade features as follows:

6" minimum from the sides of the signage

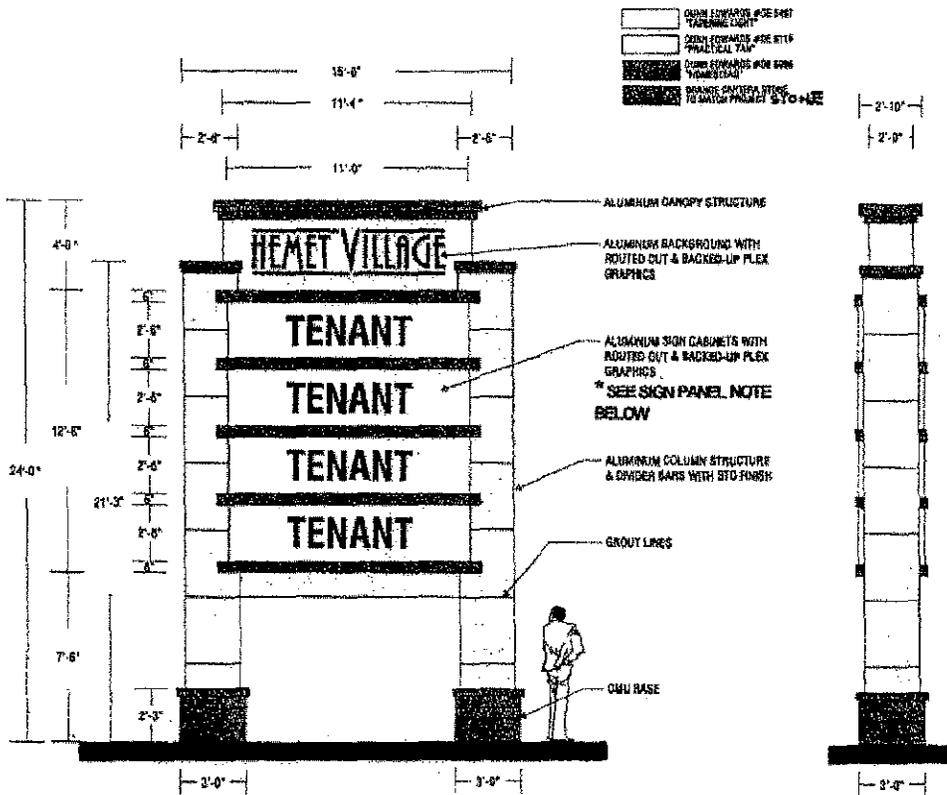
18" minimum from the top and bottom of the signage

**MULTIPLE SUITES:** Although a Tenant may occupy multiple suites, Tenant will only be permitted one set of signage



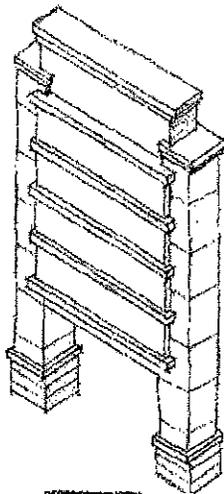
Type E 4 (ALL BUILDINGS)  
Service Door Signage

Figure 6



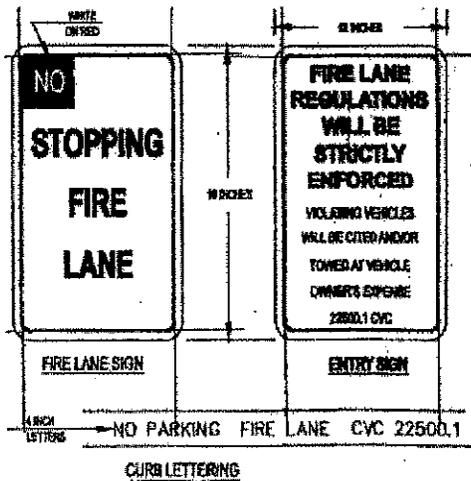
**SIGN PANEL NOTE:**  
 EACH TENANT SIGN PANEL SHALL  
 UTILIZE ONE COLOR ONLY FOR  
 LETTERING AND LOGO.

**TOTAL MAXIMUM# OF LETTERING  
 COLORS SHALL BE THREE FOR  
 ENTIRE PYLON SIGN.**



**Type E 5 (PYLON SIGN)**

Figure 7



NOTES:

1. Dimensions shown are minimum. Signs shall be red on white except as shown.
2. Signs and curb lettering shall be subject to the approval of the Fire Prevention Division of the Fire Department.
3. Signs and curb lettering shall be located at 180 degrees intervals or as necessary due to irregularity, subject to approval by the Fire Prevention Division.
4. Signs shall be placed at least 18 inches from curb face.
5. All curbs located within a fire lane shall be painted RED with acceptable red curb paint and lettered in minimum 4 inch white painted lettering.
6. Signs shall be installed on an approved pipe or post or attached to buildings as approved by the Fire Prevention Division. Where signs have protruding edges, they shall be 7 feet minimum from the nearest edge to grade.

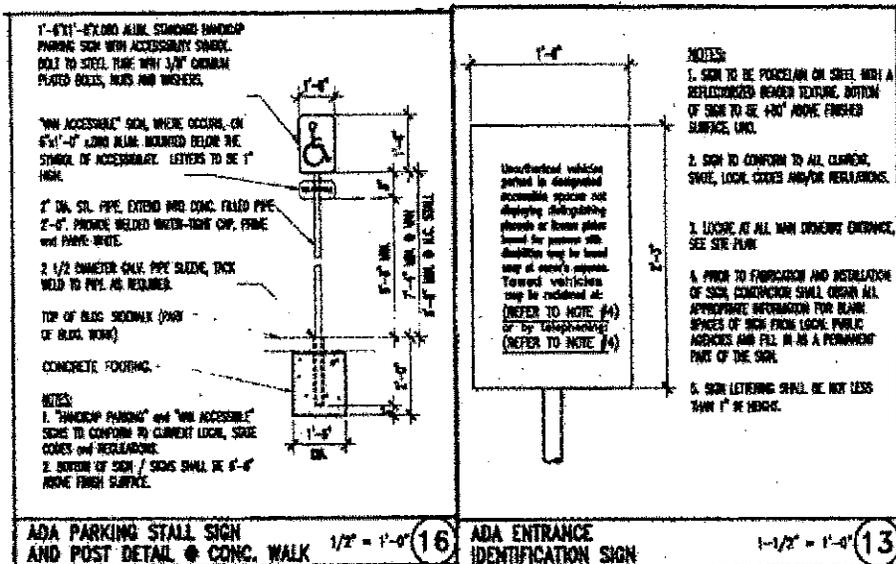


Figure 8